



£235,000

🔑 TENURE: Freehold

📊 EPC RATING: D

💷 COUNCIL TAX BAND: C

Silkmore Stafford

Silkmore Lane Silkmore
Stafford Staffordshire

🛏️ 3 🚿 1 🛋️ 2

If you're in the market for a traditional bay fronted semi- detached home, then look no further!

This fantastic family home could be yours!! Internally, comprising of an entrance hallway, living room, dining room, kitchen, and conservatory. Meanwhile, to the first floor there are three bedrooms and a family bathroom. Externally, the property enjoys off-road parking and a good sized and private rear garden. Silkmore Lane is a well-regarded location and only a "stone's throw" away from good schooling, Stafford retail park and Stafford Town Centre. Surely to be popular, so don't delay and contact us today to arrange your viewing!

- Traditional Bay Fronted Semi-Detached Family Home
- Living Room & Dining Room
- Kitchen & Conservatory
- Three Bedrooms & Family Bathroom
- Driveway & Large Well Established Rear Garden
- Ideal Family Home

You can reach us **9am to 9pm**, 7 days a week

14 Salter Street, Stafford, Staffordshire, ST16 2JU

01785 223344

hello@dourishandday.co.uk



Entrance Porch

Accessed via a double glazed entrance door, and having tiled flooring, and a secure internal door leading through to the Entrance Hallway.

Entrance Hallway

Having stairs off, rising to the First Floor Landing & accommodation with a useful understairs storage cupboard, radiator, and internal doors off, providing access to;

Dining Room 14' 4" x 10' 8" (4.37m x 3.24m)

Having a double glazed bay window to the front elevation, and a radiator.

Living Room 15' 11" x 10' 7" (4.84m x 3.23m) (measured INTO bay window recess)

Having the original single glazed bay window to the rear elevation, a contemporary style electric fire set within a decorative surround, and a radiator.

Kitchen 11' 2" x 6' 5" (3.41m x 1.95m)

Fitted with a matching range of wall, base & drawer units with work surfaces over, and incorporating an inset stainless steel sink with drainer & mixer tap,



You can reach us **9am to 9pm**, 7 days a week

14 Salter Street, Stafford, Staffordshire, ST16 2JU

01785 223344

hello@dourishandday.co.uk

and having spaces to accommodate a cooker & fridge/freezer. In addition, there is ceramic tiled flooring, a radiator, and a double glazed window to the side elevation.

Conservatory 9' 8" x 17' 1" (2.94m x 5.20m) (maximum measurements)

A UPVC double glazed constructed conservatory, having ceramic tiled flooring, double glazed double doors providing views and access out to the rear garden, and having fitted units and worktop over to one side with spaces beneath for a washing machine & dishwasher.



First Floor Landing

Having a double glazed window to the side elevation, an access point to the loft space, and internal doors off, providing access to;

Bedroom One 12' 8" x 8' 11" (3.86m x 2.72m)

A double bedroom featuring fitted wardrobes & cupboards, and having a double glazed window to the rear elevation, and a radiator.



Bedroom Two 11' 3" x 7' 11" (3.42m x 2.42m)

A second double bedroom, having a fitted wardrobe, a double glazed window to the front elevation, and a radiator.

Bedroom Three 6' 7" x 7' 10" (2.01m x 2.38m)

Having a double glazed window to the front elevation, and a radiator.

Bathroom 8' 0" x 5' 11" (2.45m x 1.81m)

Fitted with a suite comprising of a low-level WC, a pedestal wash hand basin, a panelled bath with telephone style mixer taps & telephone style hand held shower attachment, and a tiled shower cubicle housing a mains-fed mixer shower. In addition, there is tile effect flooring, a towel radiator, and a double glazed window to the rear elevation.



Outside Front

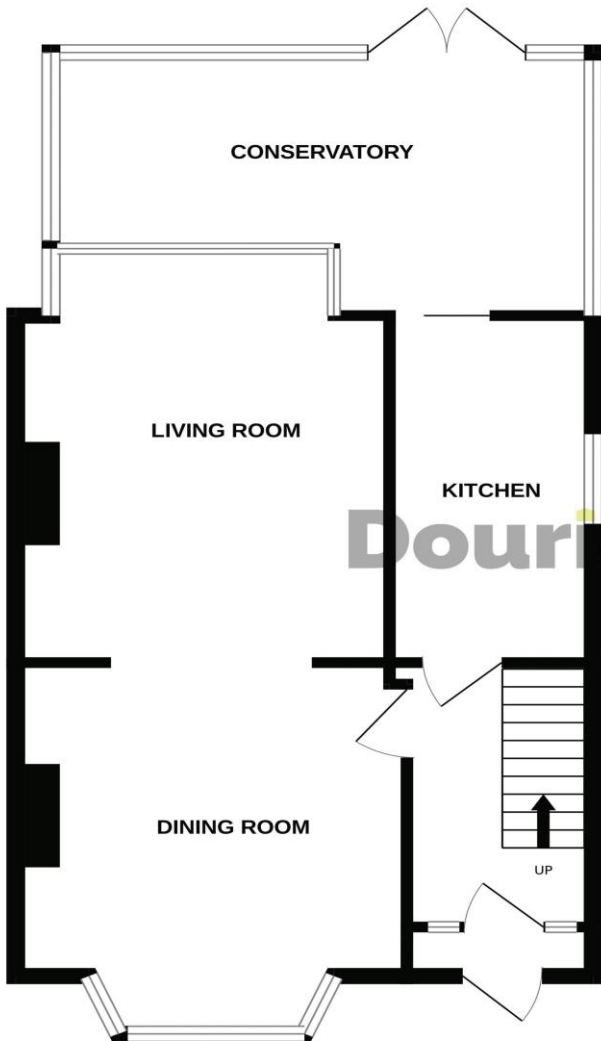
The property is approached over a block paved driveway off street parking, and having a well stocked front planting area.

Outside Rear

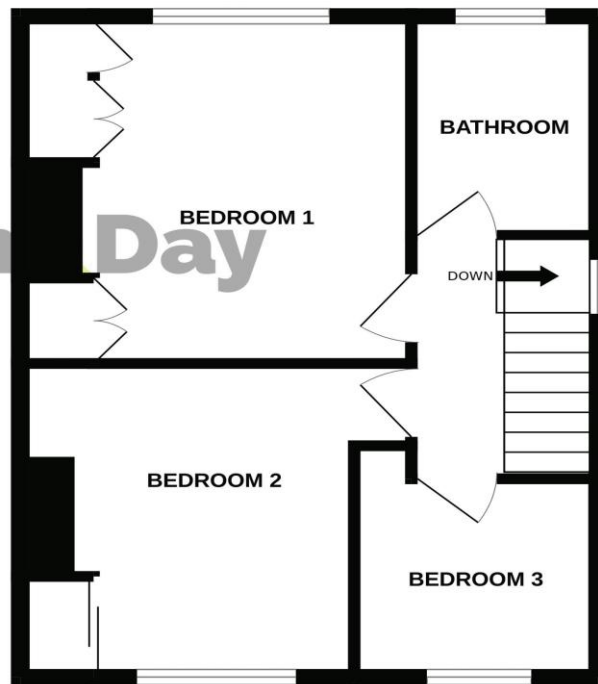
A beautifully presented, large & private rear garden, featuring a patio seating area which in turn leads on to a shaped lawn with impeccably kept & well stocked borders, and a further seating area to the top of the garden looking back towards to the house. In addition, there is also a brick constructed storage shed located just to the back of the property.



GROUND FLOOR



1ST FLOOR



Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.
Made with Metropix ©2023

Energy Efficiency Rating		Current	Potential
(92+)	A		
(81-91)	B		
(69-80)	C		
(55-68)	D		
(39-54)	E		
(21-38)	F		
(1-20)	G		
<small>Low energy efficient - lower running costs</small> <small>High energy efficient - higher running costs</small>		57	79
<small>England & Wales</small>		<small>EU Directive 2002/91/EC</small>	
<small>www.ec.europa.eu</small>			



IMPORTANT NOTICE Dourish & Day for themselves and for the vendor or lessors of this property whose agents they are given notice that: (i) the particulars are set out as a general outline only for the guidance of intending purchasers or lessees, and do not constitute, nor constitute part of, an offer of contract, (ii) all descriptions, dimensions, references to condition and necessary permissions for use and occupation, and other details are given in good faith and are believed to be correct but any intending purchasers or tenants should not rely on them as statement or representation of fact but must satisfy themselves by inspection or otherwise as to the correctness of each of them, (iii) no person in the employment of Dourish & Day has any authority to make or give any representation or warranty whatever in relation to this property.

You can reach us **9am to 9pm, 7 days a week**

14 Salter Street, Stafford, Staffordshire, ST16 2JU

01785 223344

hello@dourishandday.co.uk